

1. IMPROVEMENTS SHOWN ON THIS DRAWING TO WEST END OF WAVERLY DRIVE AND KOENIG STREET AND A PORTION OF SOUTH COLLEGE AVENUE, ARE DRAWN TO REFLECT THE SOUTH COLLEGE AVENUE RECONSTRUCTION PROJECT AS PROVIDED BY GOODWIN LASTER STRONG ENGINEERS.
2. WHERE ELECTRIC FACILITIES ARE INSTALLED, BTU HAS THE RIGHT TO INSTALL, OPERATE, RELOCATE, CONSTRUCT, RECONSTRUCT, ADD TO, MAINTAIN, INSPECT, PATROL, ENLARGE, REPAIR, REMOVE AND REPLACE SAID FACILITIES UPON, OVER, UNDER AND ACROSS THE PROPERTY INCLUDED IN THE PUE, AND THE RIGHT OF INGRESS AND EGRESS ON PROPERTY ADJACENT TO THE PUE TO ACCESS ELECTRIC FACILITIES.

EXISTING BUILDINGS: BUSINESS

LOT AREA: 0.868 ACRE (37,810 S.F.)
WEST BUILDING AREA: 9,949 S.F. (TWO STORY)
EAST BUILDING AREA: 2,016 (SINGLE STORY)
ZONED: MT-C

REQUIRED PARKING:

1 SPACE PER 300 S.F.
11,965/300 = 40 SPACES REQUIRED

PARKING PROVIDED:

37 STRAIGHT IN PARKING SPACES
1 HC ACCESSIBLE SPACE
1 HC VAN ACCESSIBLE SPACE
39 TOTAL

- PROTECT ALL EXISTING TREES IN WHICH ARE IN CLOSE PROXIMITY TO NEW CONSTRUCTION - VERIFY WITH ARCHITECT ANY DISCREPANCY.
- PROTECT ALL EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE DURING CONSTRUCTION (IE. BUILDINGS, PAVING, WALKS, STREETS, FENCES, ETC.)
- PROTECT FROM DAMAGE ALL EXISTING TREES THAT ARE TO REMAIN DURING CONSTRUCTION MAINTAIN BARRIERS AROUND TREES AT A DISTANCE OF THE DRIPLINE PLUS 9'-0" BEYOND.
- REFER TO SITE PLAN FOR APPROXIMATE LOCATION OF ALL KNOWN UTILITIES. VERIFY LOCATIONS OF ALL WATER, POWER, SANITARY SEWER, STORM SEWER, GAS, ETC. PROTECT AND MARK APPROPRIATELY PRIOR TO BEGINNING ANY EXCAVATION, NEW CONSTRUCTION OR OTHER WORK AT THE SITE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS DURING LAYOUT AT THE SITE AND SHALL CONTACT THE ARCHITECT SHOULD ANY PROBLEM BECOME EVIDENT.
- AREAS TO BE SEEDED INCLUDE ALL AREAS WHERE GRADING IS REQUIRED OR WHERE GRASS IS DISTURBED. DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION (PULVERIZE TOP SOIL, FINE GRADE AND RAKE FOR PLANTING).
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEERING DIVISION FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY CONSTRUCTION IN CITY RIGHT-OF-WAY AND/OR PUBLIC UTILITY EASEMENT.
- DURING CONSTRUCTION THE GENERAL CONTRACTOR SHALL MAKE PROVISIONS FOR THE POTENTIAL EROSION OF SOIL FROM THE SITE THROUGH THE USE OF HAY BALES OR SILT FENCES STRATEGICALLY PLACED AROUND THE PROPERTY AND AT EXISTING STORM DRAIN INLETS ADJACENT TO NEW CONSTRUCTION. THE GENERAL CONTRACTOR SHALL OBTAIN FINAL APPROVAL OF THE ACTUAL METHOD REQUIRED AND ITS PLACEMENT FROM THE CITY ENGINEERING DIVISION PRIOR TO BEGINNING ANY SITEWORK.
- ACCESSIBLE ROUTES SHALL NOT EXCEED 5% SLOPE (120") IN THE DIRECTION OF TRAVEL. CROSS-SLOPE NOT TO EXCEED 2% (150").
- ALL PAVING DIMENSIONS ARE TO BACK OF CURB.
- THERE IS NO PARKING LIGHTING IN THIS PROJECT.

SITE PLAN NOTES

NO SCALE 16

PARKING ANALYSIS

NO SCALE 12

GENERAL SITE NOTES

NO SCALE 8

VICINITY MAP

NO SCALE 4

OWNER:
TWIN CITY MISSION, INC.
2505 S COLLEGE AVE.
BRYAN, TX 77805

LEGAL DESCRIPTION:
LOT 1, BLOCK 1
LAWLER PLACE PH 3
ACRAGE: 0.868 (37,810 S.F.)

ZONING:
MT-C

CONTACT INFORMATION:
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979.822.7511
nevill@twincitymission.org

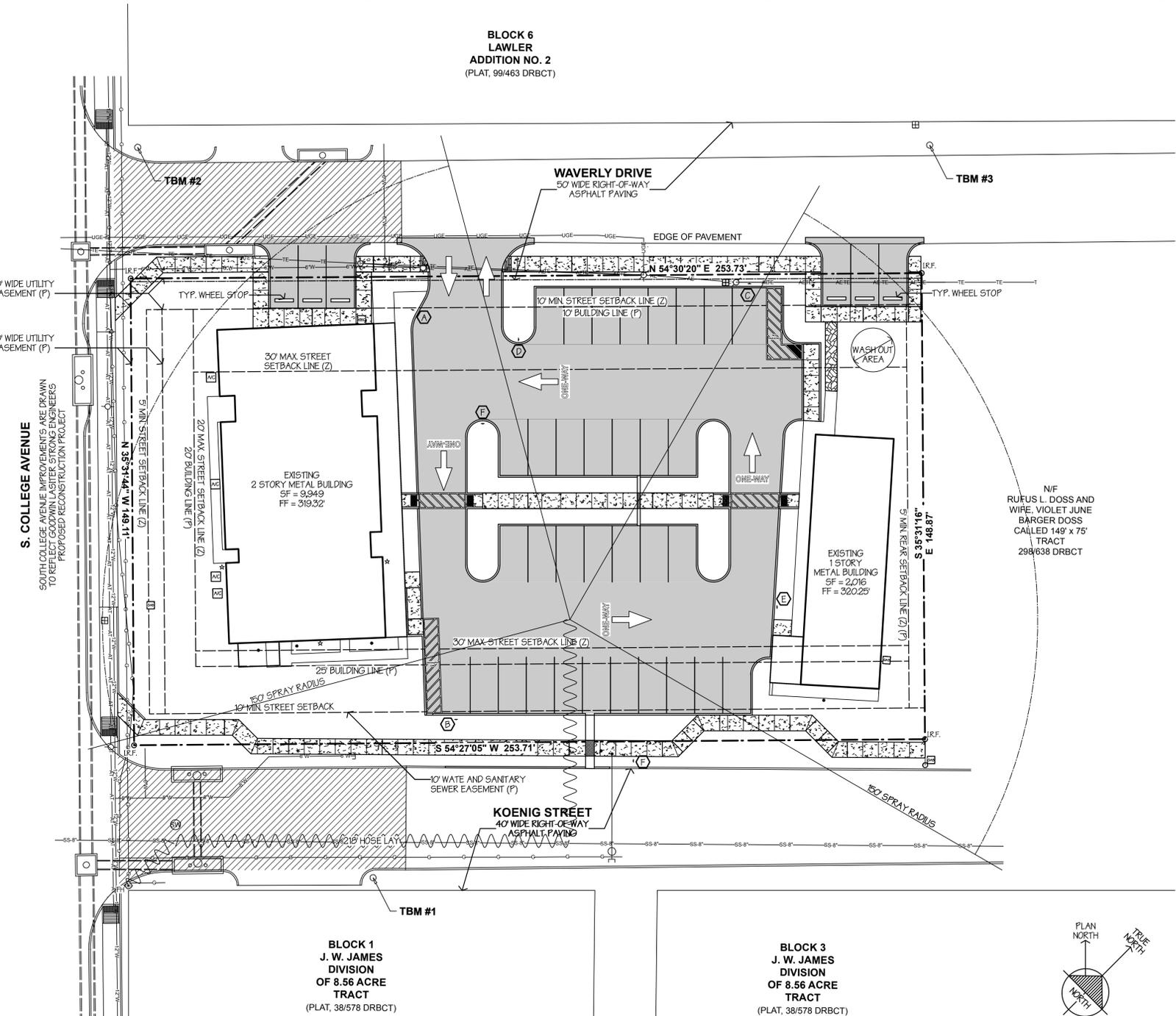
LEGAL DISCRPTION

NO SCALE 15

- FUTURE WORK BY OTHERS
- NEW CONCRETE PAVING
- NEW CONCRETE SIDEWALK
- EXISTING STONE PAVERS TO BE RESET
- EXISTING CONCRETE CURB
- NEW CONCRETE CURB
- PROPERTY LINE
- PROPERTY BUILDING SETBACK LINE, REF. SITE PLAN
- PROPERTY STREET SETBACK LINE, REF. SITE PLAN
- UTILITY EASEMENT LINE, REF. SITE PLAN
- AERIAL ELECTRIC
- UNDERGROUND ELECTRIC
- AERIAL TELEPHONE
- 6" WATER LINE
- 8" WATER LINE
- 12" WATER LINE
- 8" SANITARY SEWER
- GAS LINE

- NEW FIRE LAMP SIGNAGE, REF. 12/1/16
- NEW HANDICAP SIGNAGE, REF. 8/1/16
- NEW HANDICAP SIGNAGE, REF. 4/1/16
- NEW DO NOT ENTER SIGNAGE, REF. 15/1/13
- NEW ONE-WAY SIGNAGE, REF. 14/1/13
- EXISTING SIGNAGE, PROTECT DURING CONSTRUCTION

- 5/8" IRON ROD FOUND
- EXISTING FIRE HYDRANT
- EXISTING POWER POLE
- EXISTING WATER METER
- EXISTING CLEAN OUT
- EXISTING A/C UNIT
- EXISTING ELECTRICAL SERVICE
- EXISTING GAS METER
- EXISTING HOSE BIB
- INDICATES SIGNAGE LOCATION, REF. 17/1/11



SIGNAGE LEGEND

NO SCALE 17

GRAPHIC LEGEND

NO SCALE 13

SITE PLAN

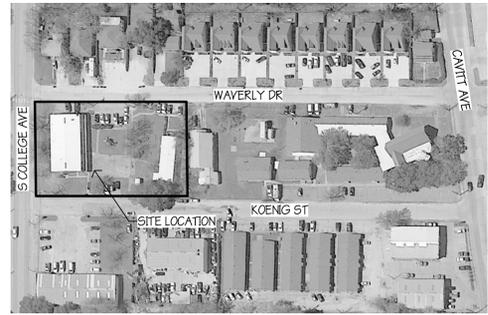
0' 5' 10' 20' 1"=20'-0" 1

RENOVATION TO AN EXISTING FACILITY
TWIN CITY MISSIONS PARKING
BRYAN, TEXAS
2505 SOUTH COLLEGE AVENUE

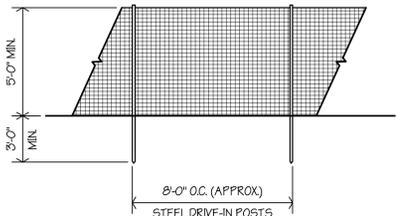
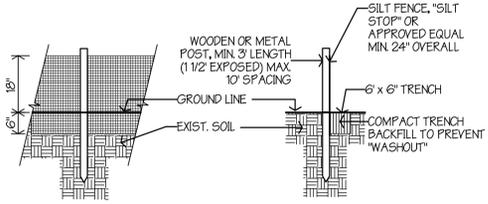
NO Date: Issue Notes:
1 02/28/2018 IFR
2 06/14/2018 COB COMMENTS

Drawn By: JMH
Checked By: FP
Patterson Project No.: 2237
Building Inventory No.:
Plot Date:
CAD File:
Project No.:
Sheet Title:
SITE PLAN

Sheet No.
A1.1
4 of 9



TREE PROTECTION FENCE SHALL BE MINIMUM 5'-0" HIGH W/ STL. POSTS @ 5'-0" O.C., WELL BRACED W/ SAFETY FENCE WIRE/PLASTIC ON THE POSTS. INSTALL THE FENCE 5'-0" PAST THE DRIP LINE OF THE TREE WHEN POSSIBLE, OR AS DIRECTED BY THE ARCHITECT, TO AFFORD MAX. PROTECTION TO THE TREE. REMOVE FENCE AT COMPLETION OF WORK. UNDER NO CONDITIONS WILL THE CONTRACTOR BE PERMITTED TO TRIM A TREE, IF TRIMMING IS NEEDED, CONTACT THE OWNER.



NOTE:
ALL POSTS ARE NOT TO BE MOVED DURING CONSTRUCTION. SET A MIN. OF 3'-0" IN GROUND WITH CORNERS ADEQUATELY BRACED.

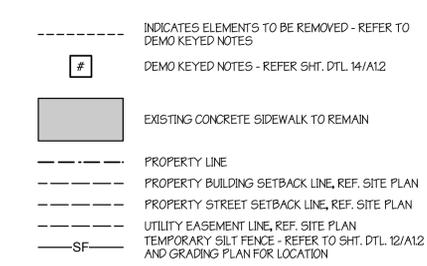
SILT FENCE NO SCALE 12

TREE PROTECTION NO SCALE 8

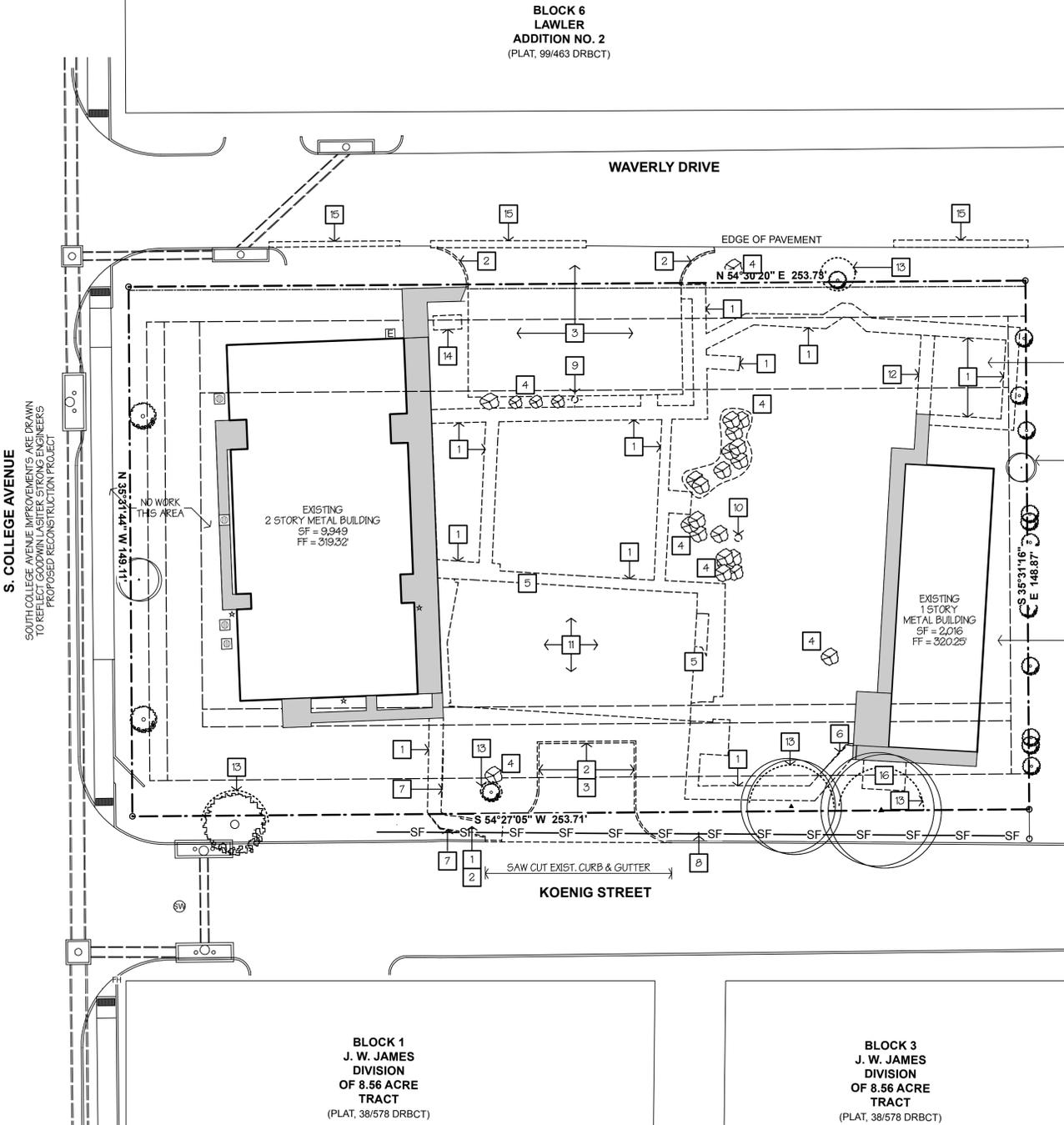
VICINITY MAP NO SCALE 4

- 1 REMOVE EXISTING CONCRETE SIDEWALK.
- 2 REMOVE EXISTING CONCRETE CURB.
- 3 REMOVE EXISTING CONCRETE PAVING.
- 4 REMOVE EXISTING TREE(S).
- 5 REMOVE EXISTING BASKETBALL GOAL.
- 6 REMOVE EXISTING WOOD FENCE.
- 7 REMOVE EXISTING METAL RAILING.
- 8 EXISTING SPEED LIMIT SIGN - PROTECT DURING CONSTRUCTION.
- 9 REMOVE EXISTING LIGHT POLE.
- 10 REMOVE EXISTING SPRINKLER SYSTEM CONTROLS.
- 11 REMOVE EXISTING CONCRETE BUILDING SLAB & GRADE BEAMS.
- 12 REMOVE EXISTING PAVERS - SALVAGE FOR REUSE.
- 13 TREE PROTECTION, REFER TO DTL. 01/A12.
- 14 REMOVE EXISTING PLANTER.
- 15 SAW CUT AND REMOVE PORTION OF EXISTING PAVING FOR NEW CONSTRUCTION.
- 16 RELOCATE EXISTING STORAGE SHED TO THE EAST, OUT OF THE CONSTRUCTION AREA FOR THE NEW SIDEWALK.

DEMO KEYED NOTES NO SCALE 14

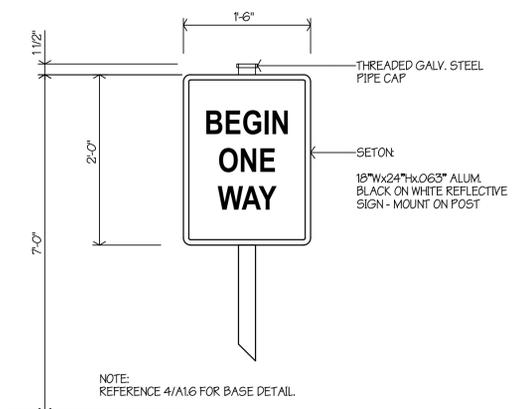


GRAPHIC LEGEND NO SCALE 13

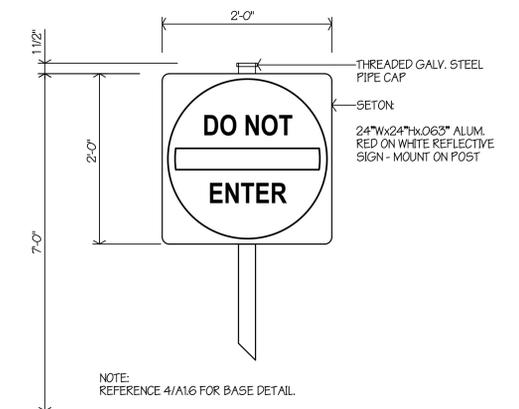


DEMOLITION SITE PLAN NO SCALE 13

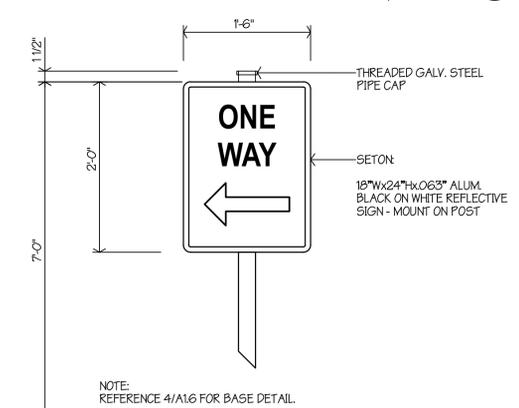




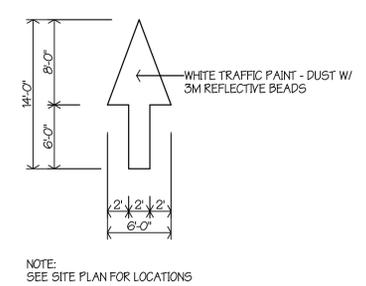
SIGNAGE DETAIL 16 1"=1'-0" (16)



SIGNAGE DETAIL 15 1"=1'-0" (15)

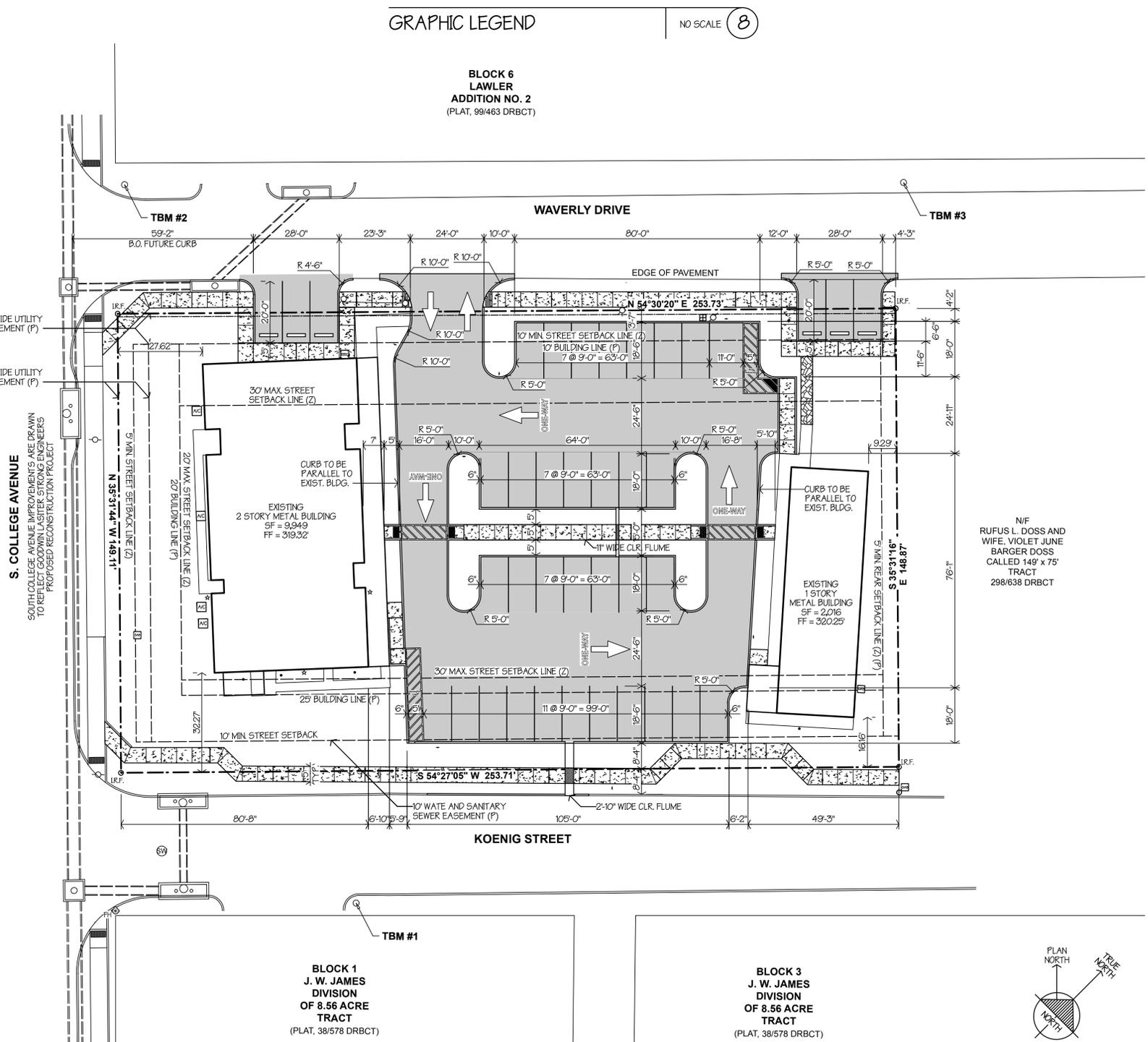


SIGNAGE DETAIL 14 1"=1'-0" (14)



STRAIGHT ARROW 13 NO SCALE (13)

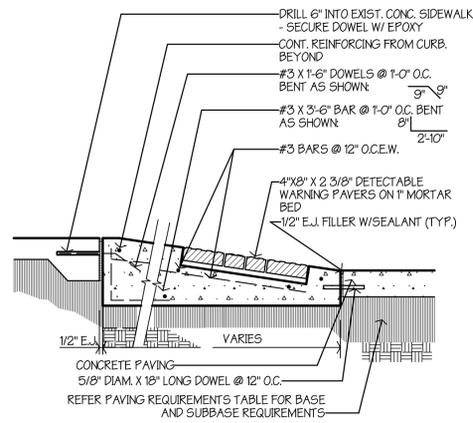
- GRAPHIC LEGEND** NO SCALE (8)
- NEW CONCRETE PAVING
 - NEW CONCRETE SIDEWALK
 - EXISTING STONE PAVERS TO BE RESET
 - EXISTING CONCRETE CURB
 - NEW CONCRETE CURB
 - PROPERTY LINE
 - PROPERTY BUILDING SETBACK LINE, REF. SITE PLAN
 - PROPERTY STREET SETBACK LINE, REF. SITE PLAN
 - UTILITY EASEMENT LINE, REF. SITE PLAN



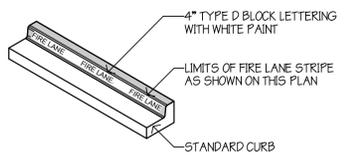
DIMENSION CONTROL PLAN 1 NO SCALE (1)

Rev	Date	Issue Notes
1	02/28/24	IFR
2	06/14/25	COB COMMENTS

Drawn By: JMH
 Checked By: FP
 Patterson Project No.: 2237
 Building Inventory No.:
 Plot Date:
 CAD File:
 Project No.:
 Sheet Title:
DIMENSION CONTROL
 Sheet No. **A1.3**

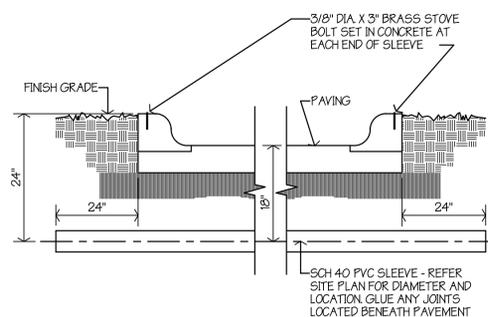


CURB RAMP W/ DETECTABLE PAVERS NO SCALE (20)

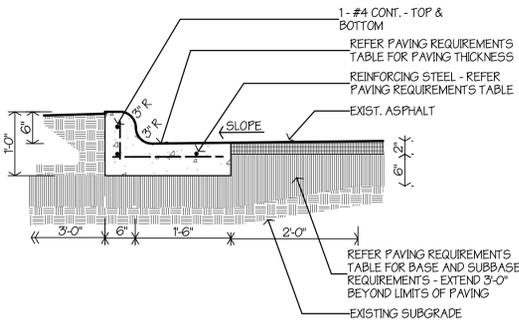


NOTE:
 1. STRIPING TO BE DONE IN ACCORDANCE WITH CITY STANDARDS. THE PAVEMENT MARKINGS SHALL BE FROM THE POINT THE FIRE LANE BEGINS TO THE POINT THE FIRE LANE ENDS.
 2. STRIPING TO BE CONTINUOUS EIGHT INCH (8") WIDE PAINTED TRAFFIC RED WITH FOUR INCH (4") HIGH LETTERING PAINTED TRAFFIC WHITE.

FIRE LANE STRIPING NO SCALE (19)



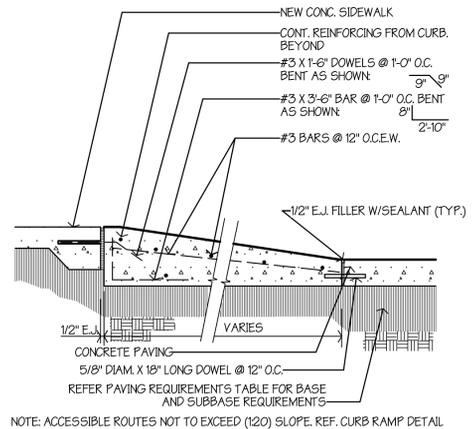
SLEEVE DETAIL NO SCALE (18)



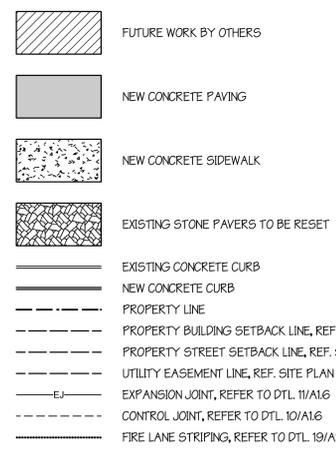
NEW CURB TO EXIST. 3/4"-1-0" (17)

- (A) TYPICAL CONCRETE CURB, REFER TO DTL. 9/A16
- (B) PAINTED 4" PARKING STRIPE, REFER TO DTL. 12/A14
- (C) VAN ACCESSIBLE PARKING SPACE, REFER TO DTL. 5/A16
- (D) ACCESSIBLE PARKING SPACE, REFER TO DTL. 1/A16
- (E) CROSSWALK DETAIL, REFER TO DTL. 3/A16
- (F) CROSSWALK DETAIL, REFER TO DTL. 7/A16
- (G) NEW CONCRETE SIDEWALK, REFER TO DTL. 6/A16
- (H) CONCRETE CURB AT SIDEWALK, REFER TO DTL. 13/A16
- (J) CONCRETE TRENCH DRAIN, REFER TO DTL. 16/A16
- (K) CONCRETE FLUME - TRANSITION FLUME TO TRENCH DRAIN, REFER TO DTL. 14/A16
- (L) NOT USED.
- (M) CONCRETE WALK, REFER TO DTL. 18/A16
- (N) 4" PVC SLEEVE, REFER TO DTL. 18/A14
- (O) FIRE LANE SIGNAGE, REFER TO DTL. 12/A16
- (P) NEW CONCRETE CURB & GUTTER, DOWEL TO EXISTING - MATCH EXISTING CURB & GUTTER PROFILE DIMENSIONS, REFER TO DTL. 17/A14

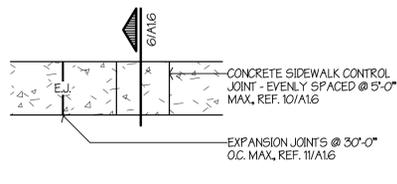
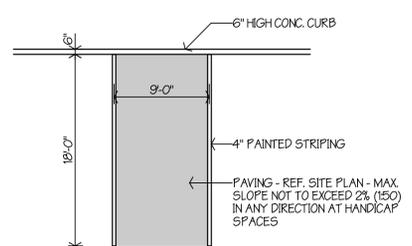
KEYED NOTES NO SCALE (15)



CURB RAMP DETAIL NO SCALE (14)



GRAPHIC LEGEND NO SCALE (13)



TYPICAL PARKING STRIPING NO SCALE (12)

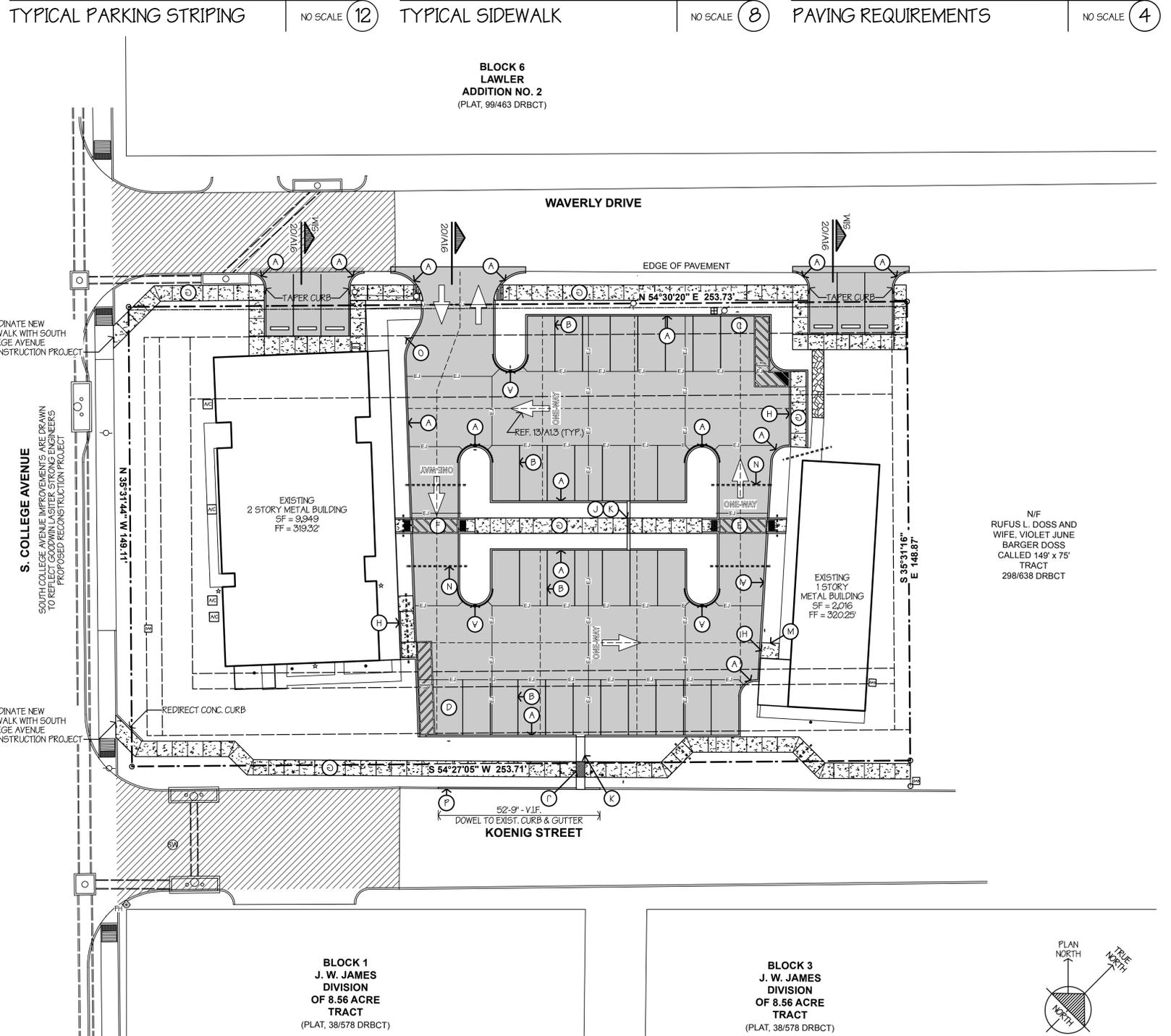
TYPICAL SIDEWALK NO SCALE (8)

PAVING REQUIREMENTS*					
LOCATION	THK.	REINF.	PSI	BASE	SUB-BASE
PAVING	5"	#3 @ 16" O.C.E.W.	3000	6" COMP. FILL	EXIST. EARTH
SIDEWALK	4"	#3 @ 16" O.C.E.W.	3000	6" COMP. FILL	EXIST. EARTH

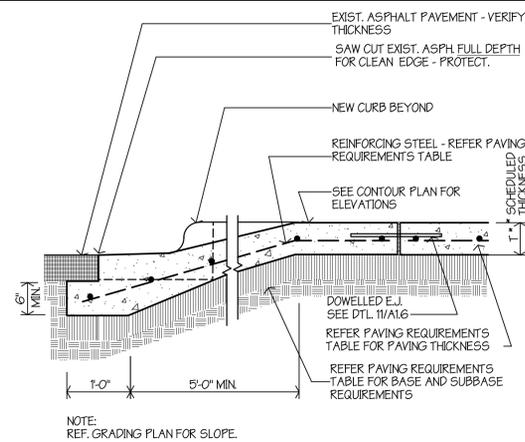
1. AT ALL PAVING, REMOVE TOPSOIL, VEGETATION & ROOTS. CUT OR ADD FILL AS REQD.
2. ALL FILL SHALL BE SELECT AS SPECIFIED. LACKING SPECIFICATIONS, MAX. P.I. = 20.
3. ALL BASE MATERIAL SHALL BE COMPACTED AS SPECIFIED. LACKING SPECS, COMPACT TO 95% STANDARD PROCTOR IN MAX. 6" LIFTS.
4. ALL FILL BELOW PAVING SHALL BE COMPACTED AS SPECIFIED. LACKING SPECS, COMPACT TO 95% STANDARD PROCTOR IN MAX. 6" LIFTS.
5. ALL FILL NOT BELOW PAVING OR FOUNDATION SHALL BE COMPACTED AS SPECIFIED. LACKING SPECS, COMPACT TO 90% STANDARD.

PAVING REQUIREMENTS NO SCALE (4)

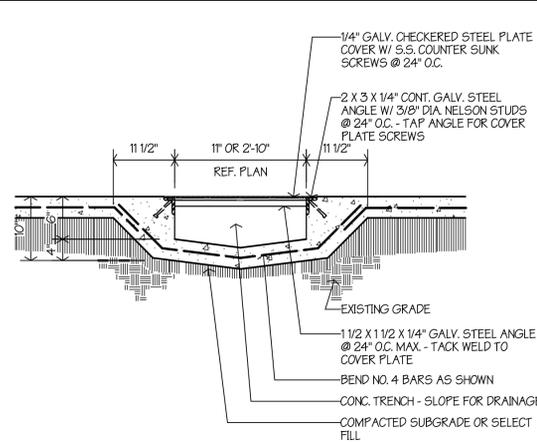
* SEE THE PROJECT MANUAL FOR SPECIFICATIONS WHICH OVER RULE CONFLICTING INFORMATION SHOWN HERE. FOR FOUNDATION REQUIREMENTS - SEE THE SPECIFICATIONS OR THE FOUNDATION DRAWINGS. REQUIREMENTS ABOVE INDICATE GENERAL REINFORCING ONLY - SEE DETAILS FOR ADDITIONAL REQUIREMENT AT JOINTS, BEAMS, TURN DOWNS, AND OTHER SPECIAL LOCATIONS.



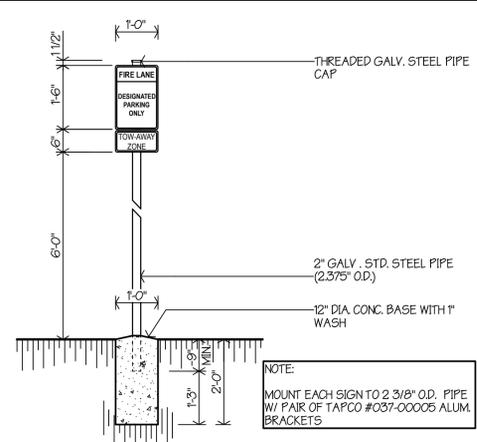
PAVING & JOINT PLAN NO SCALE (13)



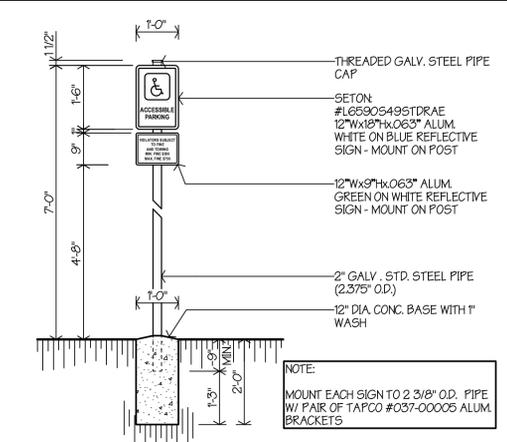
CONC. APRON @ EXIST. ASPHALT 3/4"=1'-0" (20)



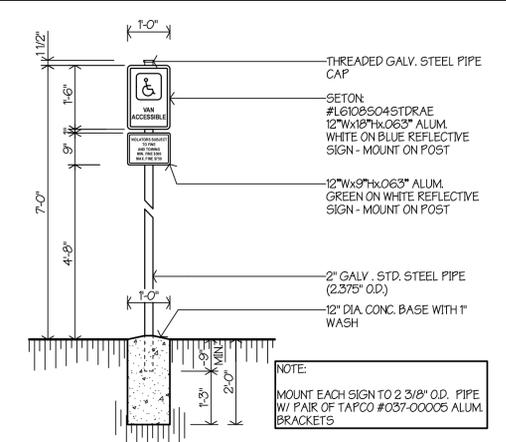
TRENCH DRAIN DETAIL 3/4"=1'-0" (16)



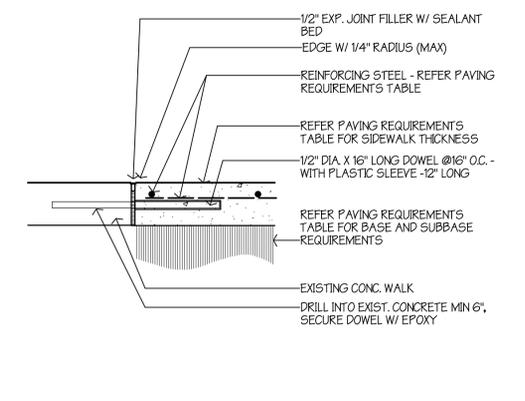
FIRE LANE SIGNAGE 1/2"=1'-0" (12)



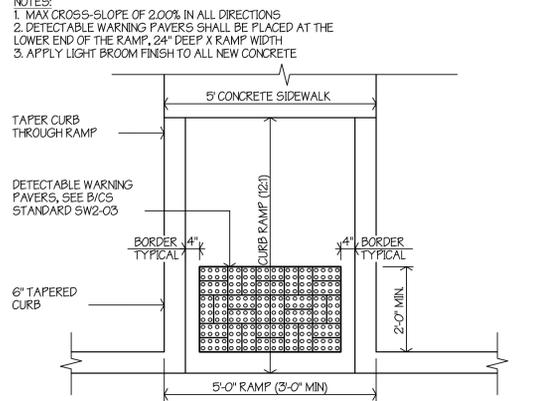
HANDICAP SIGNAGE 1/2"=1'-0" (8)



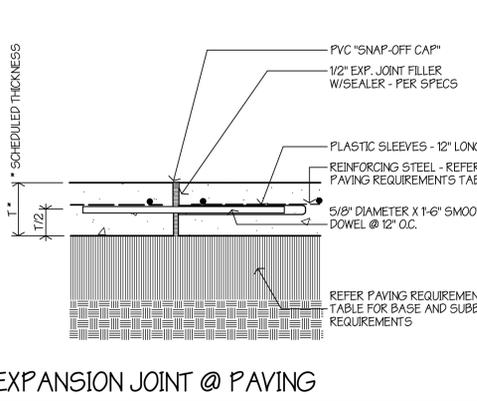
HANDICAP SIGNAGE 1/2"=1'-0" (4)



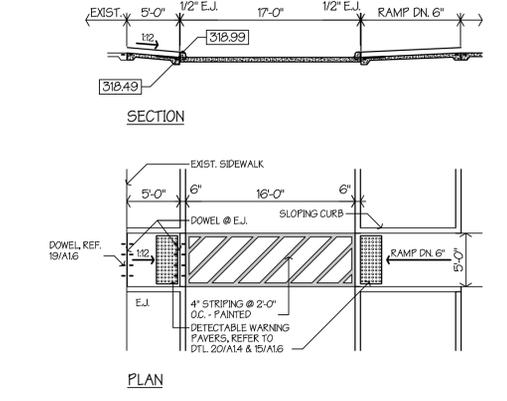
DOWEL TO EXIST. WALK 1 1/2"=1'-0" (19)



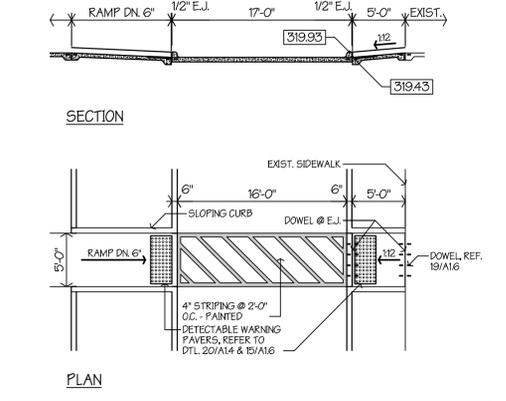
HANDICAP CURB RAMP 1/2"=1'-0" (15)



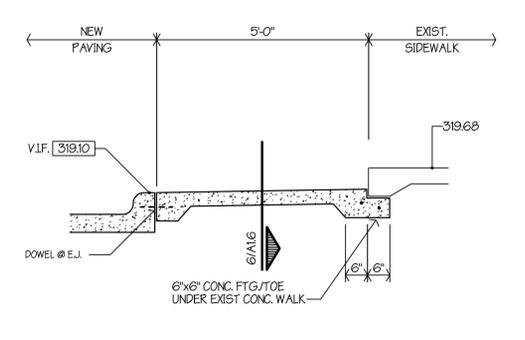
EXPANSION JOINT @ PAVING 1 1/2"=1'-0" (11)



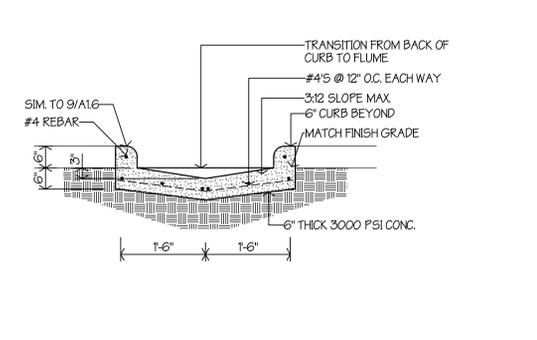
CROSS WALK DETAIL 1/8"=1'-0" (7)



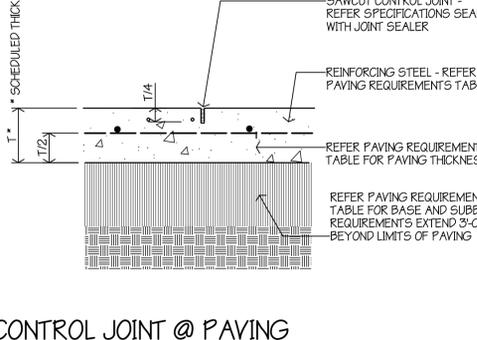
CROSS WALK DETAIL 1/8"=1'-0" (3)



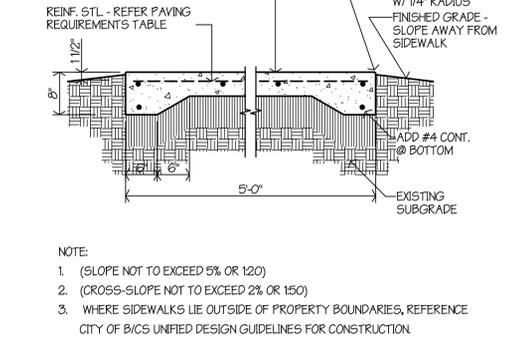
STEP DETAIL 1/2"=1'-0" (18)



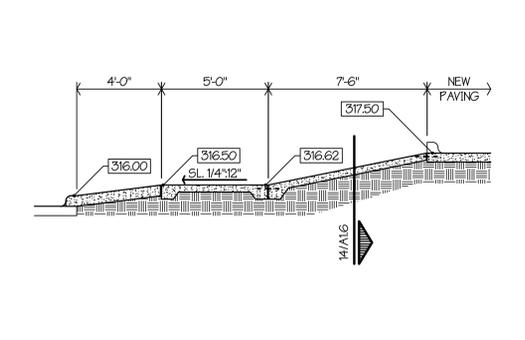
FLUME DETAIL NO SCALE (14)



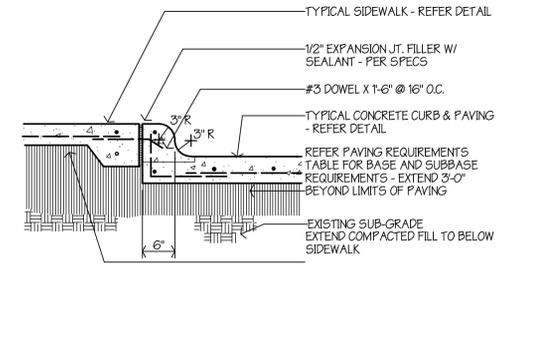
CONTROL JOINT @ PAVING 1 1/2"=1'-0" (10)



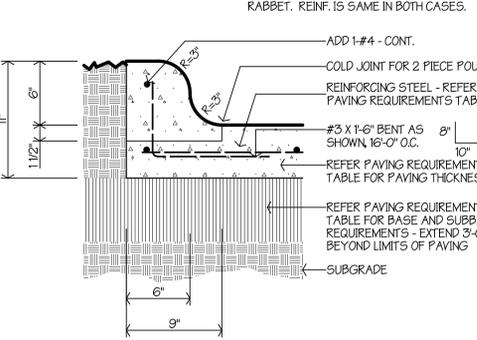
TYP. SIDEWALK DETAIL 3/4"=1'-0" (6)



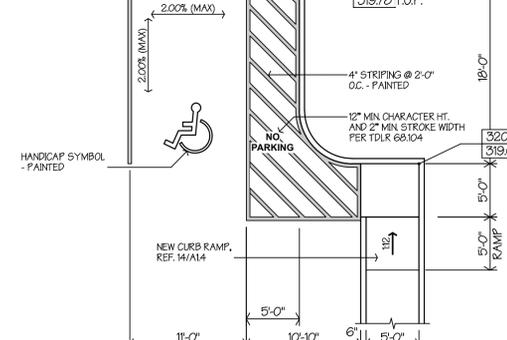
SIDEWALK DETAIL W/ FLUME 1/4"=1'-0" (17)



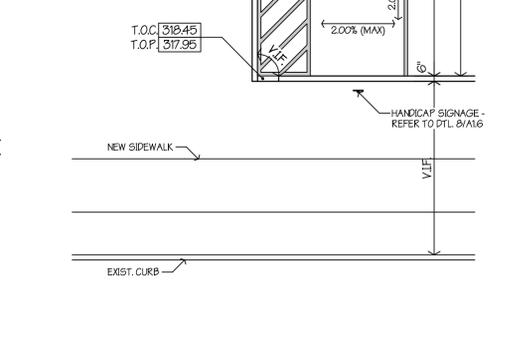
CURB DETAIL @ SIDEWALK 3/4"=1'-0" (13)



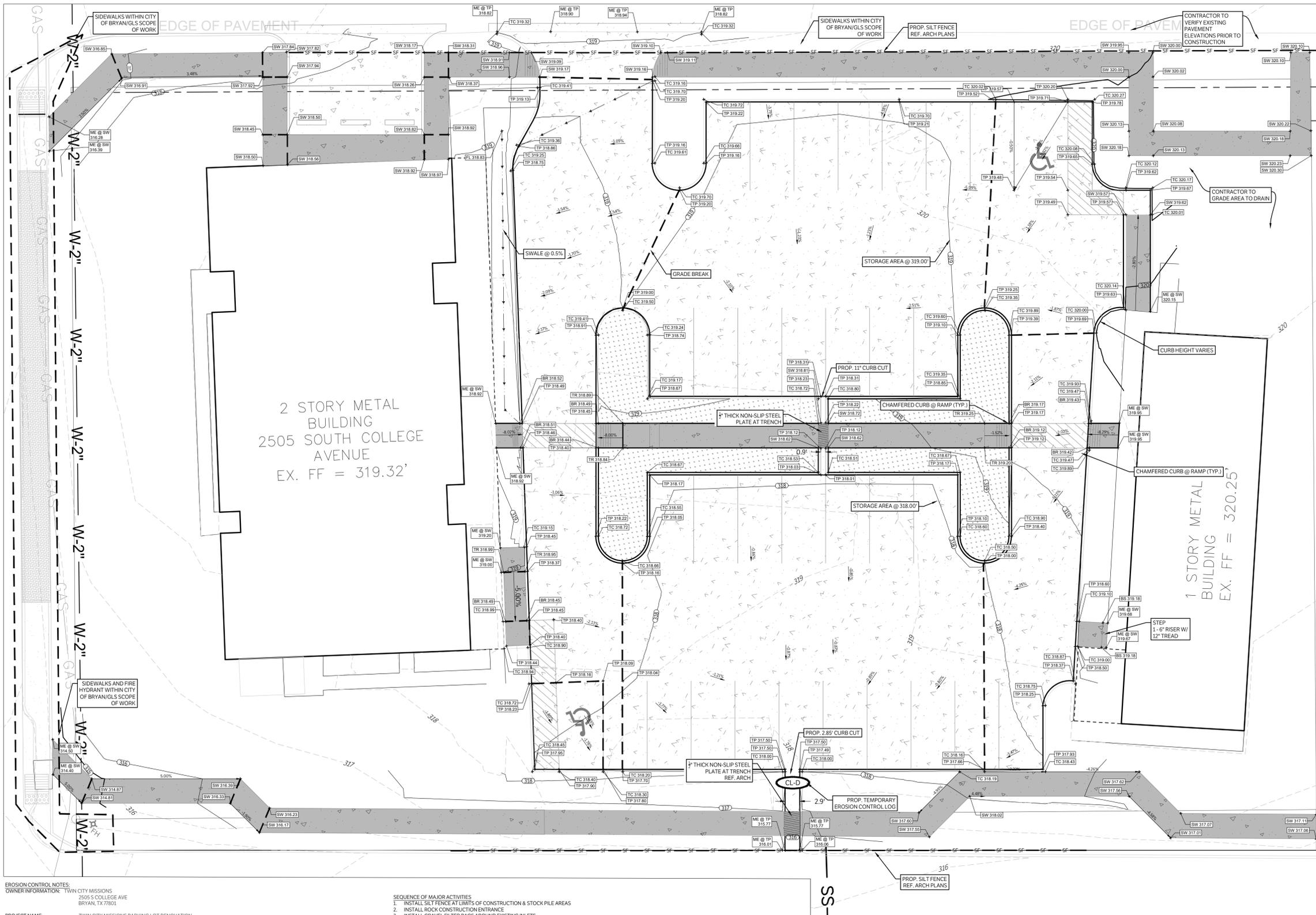
TYP. CURB DETAIL 1 1/2"=1'-0" (9)



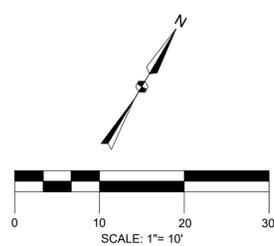
VAN ACCESSIBLE PARKING 1/8"=1'-0" (5)



ACCESSIBLE PARKING 1/8"=1'-0" (1)



CAUTION: CONTACT TEXAS 811 AND LOCAL UTILITY PROVIDERS TO LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION.
CONTACT GESSNER ENGINEERING IF CONFLICTS OCCUR.



LEGEND

	CONSTRUCTION ENTRANCE, INSTALLED PER DETAIL
	SILT FENCE, INSTALLED PER DETAIL
	PROPOSED DAM EROSION CONTROL, LOG-10'
	EXISTING CONTOURS
	PROPOSED CONTOURS
	PROPERTY LINE
	PROPOSED SWALE WITH DIRECTION OF FLOW ARROWS
	PROPOSED GRADE BREAK
BR	PROPOSED FINISHED GRADE AT BOTTOM OF RAMP
BS	PROPOSED FINISHED GRADE AT BOTTOM OF STAIR
BW	PROPOSED FINISHED GRADE AT BASE OF WALL
FG	PROPOSED FINISHED GRADE ELEVATION
FL	PROPOSED FLOWLINE ELEVATION
G	PROPOSED GUTTER FLOWLINE ELEVATION
GB	PROPOSED GRADE BREAK
JB	PROPOSED TOP OF JUNCTION BOX ELEVATION
ME @ SW	MATCH EXISTING SIDEWALK ELEVATION***
ME @ TC	MATCH EXISTING TOP OF CURB ELEVATION***
ME @ TP	MATCH EXISTING TOP OF PAVEMENT ELEVATION***
SW	PROPOSED TOP OF PAVEMENT AT SIDEWALK ELEVATION
TC	PROPOSED TOP OF CURB ELEVATION
TG	PROPOSED TOP OF GRATE ELEVATION
TP	PROPOSED TOP OF PAVEMENT ELEVATION
TR	PROPOSED TOP OF RAMP ELEVATION
TW	PROPOSED TOP OF WALL ELEVATION

***CONTACT GESSNER ENGINEERING WITH ANY DISCREPANCIES BETWEEN THE ME ELEVATION CALLED OUT ON THE PLANS AND FIELD CONDITIONS

EROSION CONTROL NOTES:
OWNER INFORMATION: TWIN CITY MISSIONS
2505 S COLLEGE AVE
BRYAN, TX 77801

PROJECT NAME: TWIN CITY MISSIONS PARKING LOT RENOVATION
PROJECT LOCATION: 2505 S COLLEGE AVE
BRYAN, BRAZOS, TEXAS

LAND USE: COMMERCIAL
LAND COVER: GRASS, PAVEMENT
AVERAGE GROUND SLOPE: PARKING LOT: ~2%
SCS CURVE NUMBER: 87.81
RECEIVING WATERS: CARTERS CREEK TRIBUTARY B

SOIL INFORMATION
0 TO 3 PERCENT SLOPES
HYDROLOGIC SOIL GROUP: D

POST DEVELOPED SITE CONDITIONS
LAND USE: CONCRETE PARKING LOT
PRIMARY STANDARD INDUSTRIAL CLASSIFICATION CODE (SIC): 171
AVERAGE GROUND SLOPE: PARKING LOT: 1.3%
SCS CURVE NUMBER: PARKING LOT: ~92
NATURE OF ACTIVITIES: DEMOLITION OF EXISTING STRUCTURES WITHIN AREA SUCH AS PAVEMENT AND PLAYGROUND STRUCTURES, SITE CUT/FILL OPERATIONS, CONSTRUCTION OF A 0.36 ACRE PARKING LOT

- SEQUENCE OF MAJOR ACTIVITIES**
1. INSTALL SILT FENCE AT LIMITS OF CONSTRUCTION & STOCK PILE AREAS
 2. INSTALL ROCK CONSTRUCTION ENTRANCE
 3. INSTALL GRAVEL FILTER BAGS AROUND EXISTING INLETS
 4. CLEAR SITE
 5. INSTALL SITE IMPROVEMENTS
 6. AFTER ESTABLISHMENT OF GRASS, REMOVE ALL TEMPORARY EROSION CONTROL (SILT-FENCE)
 7. SEED ALL AREAS NOT HAVING PERMANENT GRASS COVERAGE AS DEFINED.
- GENERAL EROSION CONTROL NOTES**
1. ALL UTILITIES AND SERVICE LINES SHOWN ARE TAKEN FROM RECORD INFORMATION SUPPLIED BY THE UTILITY OWNER OR HORIZONTALLY LOCATED BY INDEPENDENT LOCATORS. CONTRACTOR IS RESPONSIBLE TO REPORT ANY CONFLICTS BETWEEN PLAN AND ACTUAL CONDITIONS PRIOR TO CONSTRUCTION. OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF INFORMATION OR DATA RELIED ON TO DETECT UNDERGROUND FACILITIES.
 2. CONTRACTOR IS TO CONTACT TEXAS 811 AND OWNERS OF ALL UTILITIES AND SERVICE LINES WITHIN THE PROJECT AREA PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH FACILITY OWNERS. CONTRACTOR IS TO VERIFY THE EXACT LOCATION AND VERTICAL POSITIONING OF ALL PIPELINES, EXISTING UTILITIES, AND SERVICE LINES WITHIN THE PROJECT AREA WHETHER SHOWN ON THE PLANS OR NOT, AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
 3. CONTRACTOR IS TO MAINTAIN STRUCTURAL INTEGRITY OF ALL PIPELINES, ELECTRIC TRANSMISSION POLES AND LINES, PERMANENT AND TEMPORARY UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING UTILITY FACILITIES, PAVEMENT, ETC. AS A RESULT OF CLEARING/DIRTWORK ACTIVITIES.
 4. CONTACT GESSNER ENGINEERING IF CONFLICTS OCCUR.
 5. ALL DISTURBED AREAS NOT TO BE PAVED ARE TO HAVE ESTABLISHMENT OF GRASS AS OUTLINED IN THE DESCRIPTION OF CONTROLS, STABILIZATION PRACTICES NOTES.
 6. ALL SWALE AREAS (BOTTOM WIDTHS & SIDE SLOPES) ARE TO BE PREPARED AND HYDROMULCHED FOR PERMANENT ESTABLISHMENT OF VEGETATION. PRIOR TO HYDROMULCHING OPERATIONS, CONTRACTOR TO REPLACE TOPSOIL TO A DEPTH OF 6". TOPSOIL IS TO BE DISHD TO A DEPTH OF AT LEAST 4" AND LIGHTLY COMPACTED. FINAL GRADES WITH ESTABLISHED VEGETATION SHALL BE AS CALLED OUT ON THE GRADING PLAN.
 7. CONTRACTOR IS TO MAINTAIN EROSION CONTROL AT ALL LOCATIONS OF CONSTRUCTION, THROUGHOUT DURATION OF THE PROJECT AND UNTIL VEGETATION IS ESTABLISHED. INSURE SEDIMENT IS NOT TRANSPORTED FROM PROJECT VIA GRAVEL FILTER BAGS AND SILT FENCE INSTALLATIONS. IF EXCESSIVE EROSION IS OBSERVED IN THE FIELD, ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED.
 8. CONTRACTOR SHALL NOT ALLOW SEDIMENT TO ENTER THE DOWNSTREAM CHANNEL. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING OF THE DOWNSTREAM CHANNEL AREAS AND RESTORATION TO ORIGINAL CONDITION, INCLUDING ESTABLISHMENT OF VEGETATION SHOULD CONSTRUCTION SEDIMENT BE FOUND OUTSIDE THE LIMITS OF CONSTRUCTION.
 9. THE CONTRACTOR WILL REMOVE ALL EXCESS SOIL FROM CONSTRUCTION VEHICLES PRIOR TO EXITING THE SITE.
 10. THE CONTRACTOR SHALL IMPLEMENT PROPER METHODS TO REDUCE DUST GENERATION FROM THE SITE.
 11. THE CONTRACTOR MUST COMPLY WITH FEDERAL, STATE, AND LOCAL REGULATIONS REGARDING SEDIMENTS AND EROSION CONTROL.
 12. A COPY OF THIS PLAN MUST BE KEPT AT THE CONSTRUCTION FACILITY DURING THE ENTIRE CONSTRUCTION PERIOD.
 13. ALL FINISHED GRADES ARE TO BE HYDRO-MULCHED, SPOT SODDED OR SEEDED AND WATERED UNTIL GROWTH IS ESTABLISHED.

NOTE: PER FIRM 48041C0215F, THE SUBJECT PROPERTY IS NOT WITHIN THE FEMA REGULATED FLOODPLAIN VERIFIED 04-02-2014.



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LAND SURVEYING | STRUCTURAL

CORPORATE OFFICE
401 W 26TH STREET
BRYAN, TEXAS 77803
1-877-GESSNER (437-7637)
www.gessnerengineering.com
FIRM REGISTRATION NUMBERS:
TBPE F-7451, TBPLS F-10193910



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TWIN CITIES MISSION PARKING LOT RENOVATION
2505 SOUTH COLLEGE AVENUE
BRYAN, TEXAS 77801

GRADING PLAN

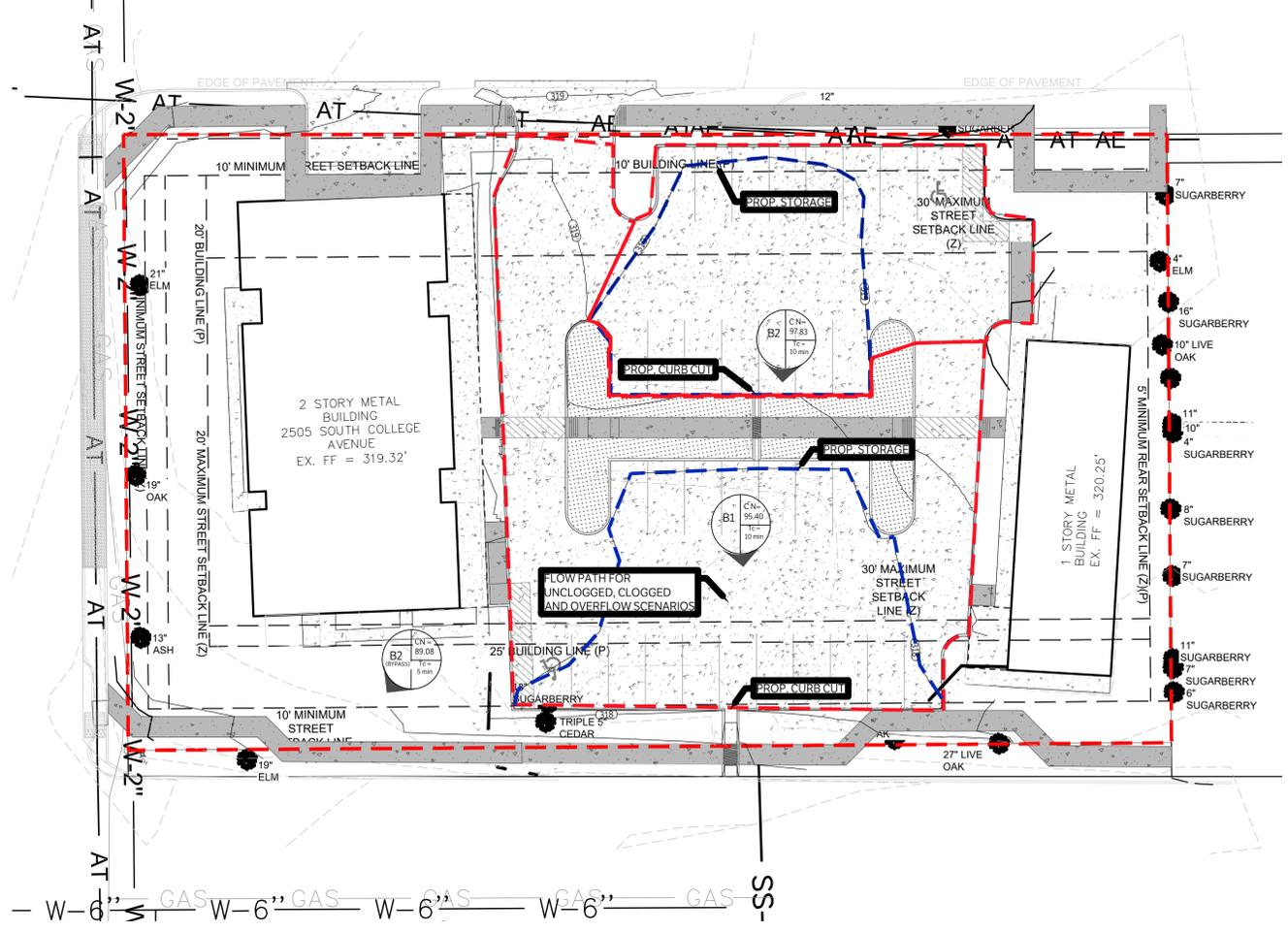
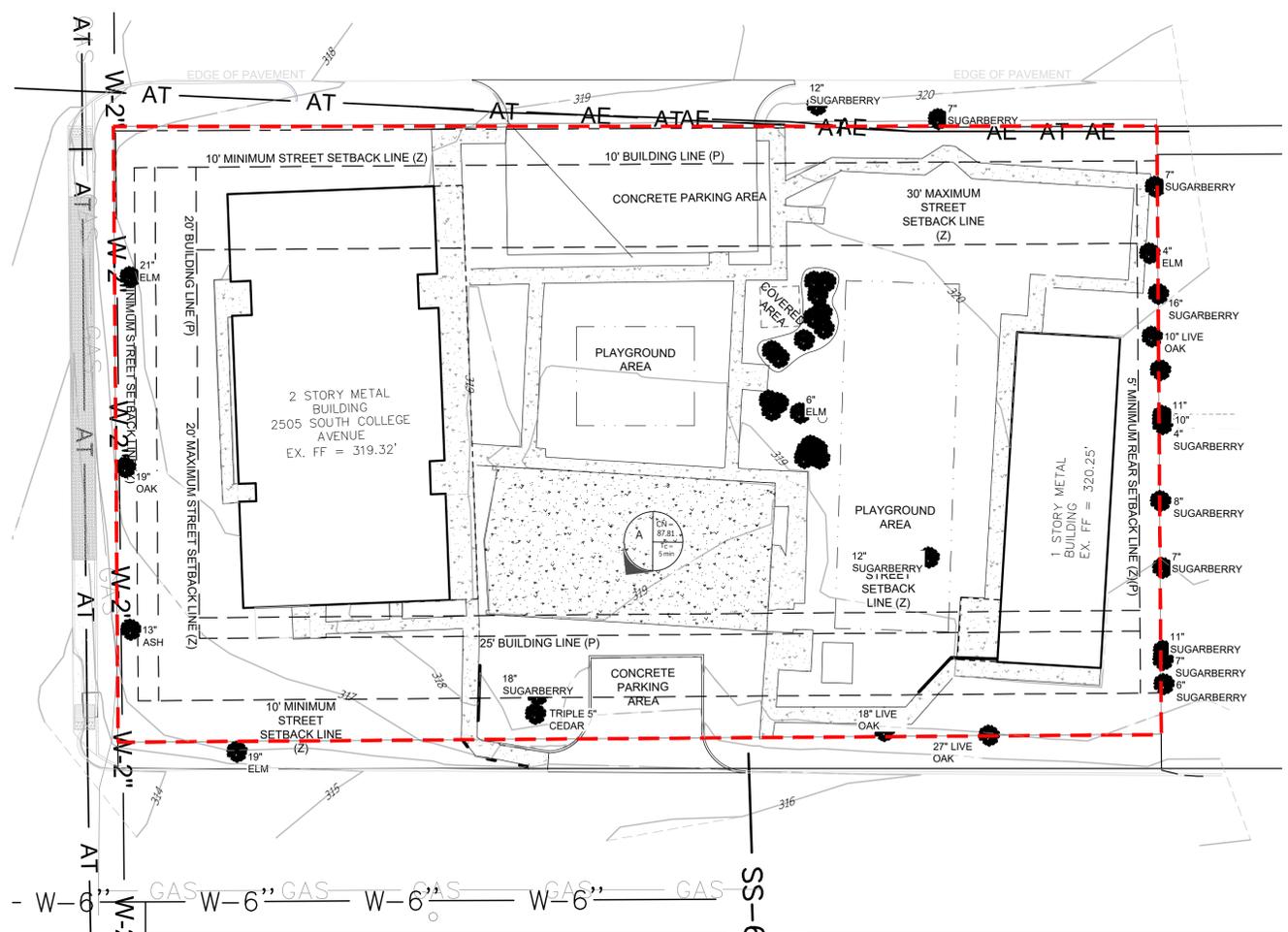
ISSUE DATE: 5/09/2023
DRAWN BY: F.H.
CHECKED BY: M.K.
PROJECT #: 23-0184

REVISIONS

REV.	DATE	DESCRIPTION

C100

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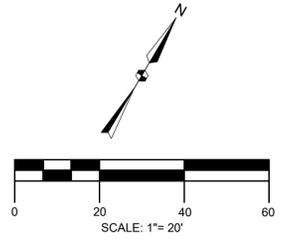
Pre: CN Coefficient

AREA A						
COVER TYPE	HYDROLOGIC CONDITION	SOIL TYPE	CN	AREA (SF)	AREA (AC)	CN x AREA
Impervious Cover	Building	D	98.00	6995.00	0.16	15.74
Developed Area	Concrete	D	98.00	9228.00	0.21	20.76
Developed Area	Gravel	D	88.00	415.36	0.01	0.84
Grass Cover	Fair	D	80.00	21158.64	0.49	38.86
			TOTAL	37797.00	0.87	76.20

Rainfall Depth

Storm Event	2-yr	5-yr	10-yr	25-yr	50-yr	100-yr
Rainfall intensity, i (in)	6.33	7.69	8.63	9.86	11.15	11.64

CAUTION: CONTACT TEXAS 811 AND LOCAL UTILITY PROVIDERS TO LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION.
CONTACT GESSNER ENGINEERING IF CONFLICTS OCCUR.



NOTE:
1. ALL TIME OF CONCENTRATION VALUES ARE 10 MINUTES



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Post: CN Coefficient

AREA B1						
COVER TYPE	HYDROLOGIC CONDITION	SOIL TYPE	CN	AREA (SF)	AREA (AC)	CN x AREA
-	-	-	-	0.00	0.00	0.00
Developed Area	Concrete	D	98.00	8937.00	0.21	20.11
Grass Cover	Grass	D	80.00	1510.00	0.03	2.77
			TOTAL	10447.00	0.24	22.88
					CN	95.40

Post: CN Coefficient

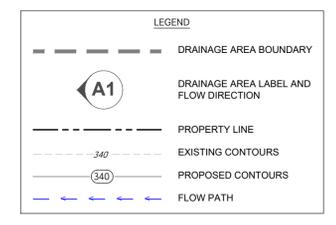
AREA B2						
COVER TYPE	HYDROLOGIC CONDITION	SOIL TYPE	CN	AREA (SF)	AREA (AC)	CN x AREA
Developed Area	Concrete	D	98.00	5267.00	0.12	11.85
Grass Cover	Grass	d	80.00	50.00	0.00	0.09
			TOTAL	5317.00	0.12	11.94
					CN	97.83

Post: CN Coefficient

AREA B2 (Bypass)						
COVER TYPE	HYDROLOGIC CONDITION	SOIL TYPE	CN	AREA (SF)	AREA (AC)	CN x AREA
Impervious Cover	Building	D	98.00	7117.00	0.16	16.01
Developed Area	Concrete	D	98.00	3898.00	0.09	8.77
Grass Cover	Fair	D	80.00	10813.00	0.25	19.86
			TOTAL	21828.00	0.50	44.64
					CN	89.08

Overall Site Runoff

Storm Event	2-yr	10-yr	25-yr	50-yr	100-yr
PROPOSED INFLOW POND 1 (DOWNSTREAM) [CFS]	1.06	1.73	2.23	2.67	3.19
PROPOSED OUTFLOW POND 1 (DOWNSTREAM) [CFS]	0.99	1.61	2.08	2.49	2.97
PROPOSED INFLOW POND 2 (UPSTREAM) [CFS]	0.40	0.64	0.82	0.98	1.17
PROPOSED OUTFLOW POND 2 (UPSTREAM) [CFS]	0.32	0.52	0.67	0.80	0.95
PO-1 WSEL (@317.50)	317.66	317.77	317.84	317.91	317.99
PO-2 WSEL (@318.50)	318.66	318.77	318.84	318.91	318.99
PROPOSED RELEASE RATE [CFS]	2.34	3.98	5.21	6.28	7.54
EXISTING FLOW RATE [CFS]	2.34	4.14	5.50	6.67	8.05
Δ FLOW [CFS]	0.00	-0.16	-0.29	-0.39	-0.51



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DRAINAGE AREA MAPS

ISSUE DATE: 5/09/2023
DRAWN BY: F.H.
CHECKED BY: M.K.
PROJECT #: 23-0184

REVISIONS

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